

CITY OF FAIRFAX

SITE PLAN

INFORMATION PACKAGE





CITY OF FAIRFAX
 Department of Community Development and Planning
 Zoning Division
 10455 Armstrong Street, Room 207A
 Fairfax, VA 22030
 Phone: 703-385-7820 / Fax: 703-385-7824

November 2009

TO THE APPLICANT:

Except for individual single-family home construction, a site plan is required for all site construction, including new buildings, additions, remodeling, and site renovations. The entire process, from initial submission to final approval (including bond approval) takes approximately six months. Some applications will be processed in a shorter time period, some longer, depending on the complexity of the project.

The site plan review process is initiated by the applicant's meeting with staff submission of a complete site plan and review fee. The submitted site plan is reviewed by City staff for Code compliance and then returned to the applicant for corrections. After review of the site plan the applicant will be advised of any additional approvals that may be needed to support the project (Special Exceptions, Variances, Special Use Permits, or Subdivision actions). All architectural and landscape features, and in certain instances signage, must be approved by the Board of Architectural Review, prior to completing the plan review process.

When all additionally required approvals have been obtained, the site plan can be submitted for final review. Bond and site agreements, clearing and grading permit applications, erosion and siltation agreements, and all other improvement bonds, agreements, and fees must be submitted with the final plan. The site plan will be approved by the Public Works Director when it is technically correct and all bonding and fee requirements are met. After the site plan is approved, building permits can be released.

Upon satisfactory completion of construction, a Residential Use Permit or Non-Residential Use Permit may be obtained. Bonds will be released after an as-built plan and a warranty bond are submitted, reviewed, and approved. The warranty bond will be released after passing final site inspection pending completion of the bond release process including the final site inspection of all warranty improvements.

The attached explanatory materials regarding the site plan review process will assist in preparation of your plan. If you have questions pertaining to the process, please contact the Zoning Division of the Department of Community Development and Planning at 703.385.7820.

Very truly yours,

Jack Blevins, Chief
 Community Development Division

Department of Community Development and Planning
 City of Fairfax, Virginia

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IMPORTANT PHONE NUMBERS All AREA CODE (703)

City Utilities	385-7920
Facilities Inspector	385-7810
Fire Marshal/Building Official	385-7830
Health Department	246-2541
Planning Director	385-7930
Public Works Director	385-7810
Case Manager/Coordinator	385-7820
Street Superintendent	385-7893
Zoning Administrator	385-7820
Architectural Review	385-7930

PLEASE NOTE: Failure to obtain City approval for changes to an approved Site Plan or to install improvements and facilities according to the City approved plan **could result in civil penalty fines and other legal remedies** available to the City.

APPLICANT'S GUIDE FOR SITE PLAN REVIEW AND BOND RELEASE PROCESS

Submit all Site Plans, applications and bonding documents to:

City of Fairfax
City Hall Annex, Room 207
Department of Community Development and Planning
Zoning Division
10455 Armstrong Street
Fairfax, VA 22030

STAGE I PRE-SUBMISSION CONTACT

- * All applicants must contact the Division Chief for Land Use Planning at 703.385.7930 prior to submission of the site plan application and plans to discuss the land development proposal. The pre-submission contact will result in the assignment of a Project Planner to serve as the point of contact throughout the review process. **Projects are not accepted for review without the pre-submission contact.**

STAGE II APPLICATION SUBMISSION

- * Applications for site plan review that contain the following items are acceptable for Intake Processing:
 - A. Site Plan Application
 - B. E&S Application
 - C. Property Owner Affidavit (and also printed on cover page of plan set)
 - D. Submission Fee Worksheet
 - E. Site Plan Checklist (and also printed on cover page of plan set)
 - F. LEED Checklist
 - G. Notification Letter Sample
 - H. Water Quality Impact Assessment & Waiver Application
 - I. Tree Removal Application
 - J. GIS “dxf” electronic format at final submission
 - K. Plans and Preliminary Plats (each submission 10 paper copies **and** “pdf” electronic format)
 - L. Draft Deed Documents
 - M. Site Agreement
- * Where applicable, any Special Exception, Variance and Special Use Permit approvals by City Council or the Board of Zoning Appeals must be obtained prior to site plan submission. The specific application requirements, forms and fees for these approvals are available from the City’s website www.fairfaxva.gov or Zoning Division staff.

STAGE III SITE PLAN REVIEW

- * Site plans are circulated to the plan review staff in the following City departments: Public Works, Utilities, Building Code/Fire Marshal, and any other department that may need to provide staff review comments.
- * Review comments are compiled by the Project Planner and sent to the applicant's representative for consideration. The applicant's response (in letter format to the Project Planner) to staff's comments must accompany all site plan revisions.
- * Architectural review and approval for building designs, landscaping and screening for all zoning districts except (single-family residences outside of the Old Town Fairfax Historic District and Transition District) and certain signage must be approved by the Board of Architectural Review.
- * Building construction plans may be submitted to the Office of Building and Fire Code Administration for review and consultation with the Plan Review prior to site plan approval. **Applications for building permits will not receive Zoning compliance review and endorsement until the final site plan approval is obtained.**
- * Subdivisions may require preliminary and final subdivision plats to be approved by the Planning Commission or Director of Public Works prior to site plan approval. The specific application requirements, forms and fees for these approvals are available from the City's website www.fairfaxva.gov or Zoning Division staff.
- * The final site plan revisions and documents such as bond and site agreements, clearing and grading permits, tree removal permits, floodplain permit, stormwater detention/best management practices agreements, and siltation agreements and any associated fees will be accepted for processing after obtaining all other required approvals and satisfying the Bond Submission package requirements.
- * Documents (bond and site agreements, clearing and grading permits, tree removal permits, stormwater detention/best management practices agreements, and siltation agreements and all associated fees) will be circulated for review and approval by appropriate authorities when all requirements are met.
- * The final site plan will be approved by signature of all agencies signature when all site plan and bonding requirements of City Code Sections 110-105 through 110-107 are met. The approved site plan will be released to the applicant once the final site plan is approved by the Director of Public Works and has been submitted in a "dxf" format for the City's GIS update. (Additional information regarding "dxf" format is available from the City's GIS Analyst, 703.246.6331.)
- * Building permits may be issued by the Office of Building and Fire Code Administration and street opening permits may be issued by the Department of Public Works **after the final site plan is approved.**

STAGE IV CONSTRUCTION

- * A pre-construction meeting is required before ANY activity takes place on site. It is recommended that a preconstruction meeting be scheduled at least one (1) week in advance of planned start of any site activity. To schedule a preconstruction meeting, contact the Facilities Inspectors at 703.385.7828. **Failure to schedule a pre-construction meeting prior to site activity will result in a Stop Work Order by the Facilities Inspector and/or Building Code Inspector.**
- * Written notices providing information to residents in the affected area (in most cases, one block from the construction activity) must be delivered one week before the beginning of construction activity and three days prior to any disturbance of utilities. The Facilities Inspector must be copied on all notices and a list of addresses that received notices must be provided.
- * Following a preconstruction meeting, limited clearing is allowed for installation of erosion and sediment controls.
- * Inspection of installed erosion and sediment controls and construction entrance is required before approval is given to begin land clearing activities.
- * Construction noise is allowed only between the hours of 7:00 AM and 6:00 PM on weekdays and 8:30 AM and 5:00 PM on Saturday **ONLY**. No construction noise is allowed during Sunday, evening/night hours and public holidays.
- * Work hours in the Right-of-Way are from 9:00 AM to 3:00 PM on weekdays, or as outlined in the approved ROW/Easement Permit.
- * Right-of-Way and On-Site Construction Inspection Fees are billed at the beginning of the project. A Right-of-Way/Easement Permit is required prior to starting work in any City Right-of-Way or Easement. Each road cut requires a separate traffic control plan for the particular work zone. Payment must be received for Right-of-Way and On-Site Construction Inspection Fees before a ROW/Easement Permit will be issued.
- * All site construction is monitored for adherence to requirements by the Facilities Inspector until the project is complete. Building construction is monitored by the Building Inspector from Code Administration.

STAGE V BOND ADMINISTRATION

- * To assist in completion of the remainder of this process, a separate bonding package will be provided by the City of Fairfax Development Bond Administrator (703.385.7930).
- * Bond reductions may be requested as the project progresses up to 80% maximum reduction of the original site bond amount. A written request for bond reduction must be submitted on company letterhead, accompanied by completed amounts as certified on the City of Fairfax Surety Value Estimate form, and associated fees paid.
- * At the satisfactory completion of 80% of site improvements and/or within 30 days of the issuance of the permanent or temporary Certificate of Occupancy from the Office of Building and Fire Code Administration an as-built plan, formal written request (on company letterhead) for release of the site and siltation bonds and associated fees must be submitted to the City Development Bond Administrator for agency review.
- * A temporary Residential or Non-Residential Use Permit may be issued to accommodate weather related delays for completion of **landscaping and paving only**.
- * After approval of the as-built plan, a two-year warranty bond must be submitted for approval with the associated surety review fee. The original site and siltation bonds will then be returned to the applicant.
- * A permanent Residential or Non-Residential Use Permit will be issued upon satisfactory compliance with all required improvements to provide safe public and emergency access.
- * Approximately three (3) months prior to warranty bond expiration, a letter from the City Development Bond Administrator will be mailed to the applicant; however this may be initiated by the bonding agent for the developer no sooner than three (3) months prior to warranty bond expiration.
- * The applicant will then be instructed to submit a formal request in writing (on company letterhead) for release of the warranty bond and pay the associated bond release fee. This request must be made prior to the expiration of the warranty bond.
- * Upon satisfactory inspection by the City Public Works Department Facilities Inspector, the original warranty bond will then be returned to the applicant.

STAGE VI AMENDMENTS TO APPROVED SITE PLANS

- * Changes to an approved site plan will be processed as a Site Plan Amendment.
- * Final Design plans by **Virginia Power** for electric service must have **City Staff authorization prior to installation**.
- * **Failure to obtain City approval of any changes or to install improvements and facilities according to the City approved plan may result in civil penalty fines and other legal remedies available to the City.**

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City of Fairfax Site Plan Checklist
and Certification Statement

The following affidavit and checklist **MUST BE PRINTED ON THE COVER PAGE** and signed by a certified engineer, architect or land surveyor.

Certification for Completeness and Accuracy

I _____ do hereby certify that this site plan checklist is complete and accurate for use in staff's evaluation of the attached site plan that is required pursuant to Section 110-101 thru Section 110-111 in the Code of the City of Fairfax.

(signature) _____ (date) _____

(SEAL)

Site Plan Checklist

All site plans **MUST CONTAIN THE FOLLOWING CHECKLIST INFORMATION** in the order prescribed herein. If a checklist item does not apply please indicate "N/A" and explain in "Remarks" column.

COVER PAGE:

Yes	No	N/A	Description	Remarks
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Engineer's name, address and phone number	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location map at a scale not less than 1"=2000', indicating scaled coordinates and landmark information such as names of roads and water bodies.	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Tax Map Number, Property Address, Project Name and Sheet Index	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Seal and Signature of a professional engineer or other certified professional	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Name and address of owner, developer and contract purchaser (if any).	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Proposed floor area ratio and maximum permitted.	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Area of parcel in square feet.	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Disturbed area in square feet or acres	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Number and type of dwelling units and allowed density (if applicable)	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Number of parking and loading spaces required and proposed	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Land use actions granted or requested for.	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	North arrow on all plan drawings and maps	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Scale of each drawing, map or plan	_____

{*Denotes items that are required in digital format "dxf" for purpose of updating the City's GIS data.}

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COVER PAGE:

Yes	No	N/A	Description	Remarks
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Date and preparation and revisions.	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Proposed gross floor area and the area of the above grade horizontal surface of any parking structure.	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Landscaped open space required and proposed, zoning classification, use group classification and type of construction(Uniform Statewide Building Code).	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Certificate signed by the surveyor or engineer setting forth the source of title of the Owner of the parcel(s) and the place of record of the last instrument in the chain of Title.	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Property ownership affidavit (printed on plan cover sheet with signature)	

NOTES AND DOCUMENTATION PAGE:

Yes	No	N/A	Description	Remarks
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Documentation of approvals granted by City Council, Planning Commission, Board of Zoning Appeals, Board of Architectural Review or any other agency.	

EXISTING CONDITIONS PAGE:

Yes	No	N/A	Description	Remarks
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Boundary of the entire property or properties.	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Horizontal dimensions in feet and decimal fractions of a foot to the closest .00-foot and all bearings in degrees, minutes, and seconds to the nearest 10 seconds.	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Proof of easements required for the development.	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Certified topographic map of the property at a two-foot contour interval, showing existing and proposed contours and delineating the 100-year floodplain elevation.	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	USGS datum used for all deviations with location and elevation benchmarks.	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Proposed elevations at control points necessary to evaluate the plan.	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Locations and sizes of existing:	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Fire lanes, "no parking", reserved parking and ADA parking.	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Structures and their distance to property lines and center lines of adjacent streets.	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Public streets, sidewalks, bike trails and easements on and adjacent to the site with	

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EXISTING CONDITIONS PAGE:

Yes	No	N/A	Description	Remarks
			rights-of-way, width of pavement, curbs, gutters, medians indicated, profiles, typical sections and pavement design.	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Driveways and curb cuts on the site and adjacent properties (indicate sight distances for driveways entering public streets).	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Parking and loading spaces, related driveways, walkways, drive-aisles and pavement types.	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Recreation areas.	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Fences, retaining walls and other similar structures including elevation drawings.	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Guardrails, posts and other edge delineators.	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Street and site lighting indicating all fixture styles, overall height, type of luminaire and footcandle and uniformity values.	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Traffic controls.	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Provisions for refuse disposal and recycling and required screening.	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Stormwater management facilities including all structures (pipes, inlets, drains, grates, etc) elevations, profiles, connections to existing facilities, ground clearance, detailed design of non-standard structures, calculations for pipe capacity, detention, retention facilities and BMP's.	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Water and sanitary sewer facilities, including all structures (fire hydrants, meters, manholes, etc.), sizes and types of pipes, elevations, profiles, ground clearance and connections to public utility systems. (Indicate water pressure and flow capability, static pressure, residual pressure and flow in gallons per minute)	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Underground and overhead electric, telephone, cable, computer, gas lines and equipment.	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Angles of bulk plane where minimum angles of bulk plane are controlled by Zoning regulations.	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Landscaping including a tree inventory with each tree's caliper size labeled.	

SITE PLAN PAGE:

Yes	No	N/A	Description	Remarks
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	* Boundary of the entire property or properties.	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Horizontal dimensions in feet and decimal fractions of a foot to the closest .00-foot and all bearings in degrees, minutes, and seconds to the nearest 10 seconds.	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Proof of easements required for the development.	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Certified topographic map of the property at a two-foot contour interval, Showing existing and proposed contours and delineating the 100-year Floodplain elevation.	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	USGS datum used for all deviations with location and elevation of benchmarks.	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Proposed elevations at control points necessary to evaluate plan.	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Locations and sizes of proposed:	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Fire lanes, “no parking”, reserved parking and ADA parking.	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	* Structures and their distance to property lines and center lines of adjacent streets.	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	* Public streets, sidewalks, bike trails and easements on and adjacent to the site with rights-of-way, width of pavement, curbs, gutters, medians indicated. Profiles, typical sections and pavement design.	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	* Driveways and curb cuts on the site and adjacent property (indicate sight distances for driveways entering public streets).	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	* Parking and loading spaces, related driveways, truck turning radius, walkways, drive aisles and pavement types.	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Recreation areas.	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Fences, retaining walls and other similar structures, including an elevation drawing.	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Guardrails, posts and other edge delineators.	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Street and site lighting indicating all fixture styles, overall height, type of luminaire, and foot-candle and uniformity values.	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Traffic controls and truck routes.	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Provisions for refuse disposal and recycling, and required screening.	_____

{*Denotes items that are required in digital format “dxf” for purpose of updating the City’s GIS data.}

SITE PLAN PAGE:

Yes	No	N/A	Description	Remarks
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Storm water management facilities including all structures (pipes, inlets, drains, grates, etc.) elevations, profiles, connections to existing facilities, ground clearance, detailed design of non-standard structures, calculations for pipe capacity, and detention or retention facilities and BMPs must be shown on the Storm Water Management and Water Quality Plan pages.	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> *	Water and sanitary sewer facilities, including all structures (fire hydrants, meters, manholes, etc.), sizes and types of pipes, elevations, profiles, ground clearance, and connections to public utility systems. Indicate water pressure and flow capability, static pressure, residual pressure, and flow in gallons per minute must be shown on the Utilities Plan Page (s).	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> *	Underground and overhead electric, telephone, television, computer gas lines and equipment.	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Angles of bulk plane where minimum angles of bulk plane are controlled by zoning regulation.	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Vertical cross-sectional view showing height of proposed structures, number of stories, location and access to underground parking, and proposed elevation of each floor, including basements.	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Landscape materials, including a tree management proposal, showing existing and proposed vegetation with each tree's caliper size labeled.	_____

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STORM WATER MANAGEMENT PAGE(S):

Yes	No	N/A	Description	Remarks
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	General description of stormwater management facilities	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Project schedule, narrative, sequence of construction	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Adjacent property owners	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Existing streets, buildings, etc.	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Wooded limits	_____

STORM WATER MANAGEMENT PAGE(S):

Yes	No	N/A	Description	Remarks
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Wetland limits	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Water quality buffers	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Proposed public drainage easements shown	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Land use of surrounding areas	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Original contours (2-foot intervals)	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Proposed contours (2-foot intervals) or sufficient number of spot elevations	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Actual field survey	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	City/ USGS topographical data	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Existing streams, lakes, etc.	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Size and location of existing culverts	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Size and location of proposed culverts	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Limits of drainage area	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Limits of construction, clearing & grading	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Existing and proposed improvements (including utilities and protective measures)	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Delineation of FEMA 100-yr Floodplain within 200ft of project, 100-yr BFE shown	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Soils, including names, mapping unit, erodibility, permeability, depth, texture, and soil structure	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location and elevation of the lowest floor in all proposed and existing buildings adjacent to the floodplain	_____

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<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location of Stormwater Management Facilities (includes details, plan, profile, and cross sections)	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Maintenance plan for stormwater management facilities	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Name and address of entity responsible for maintenance	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Stormwater Maintenance Agreement	_____

Calculation Requirements:

Yes	No	N/A	Description	Remarks
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	NOTE: Drainage structures should be designed to handle all upstream flow when the basin is fully built out	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Capacity of receiving channel downstream of channel, pipe, or basin system	_____

Calculation Requirements:

Yes	No	N/A	Description	Remarks
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Total area, impervious area, CN, Tc, Q _{pre} and, Q _{post} for 2/10-yr/25-yr/100-yr storms as applicable	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Routing analysis through all detention/retention facilities	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Design flows and velocities in open channels	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Soils/Geotechnical Report/Analysis (for infiltration facilities, if required)	_____

Piped Systems:

Yes	No	N/A	Description	Remarks
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Analyzed and designed for 2/10-yr/25-yr/100-yr Storm Primary road crossings designed for 25-yr flows and 10-yr under secondary roads and other locations	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Culverts checked for the effects of 100-yr storm. No flooding of building Structures shall result from 100-yr design flow	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Energy dissipater calculations	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Capacity of receiving channel downstream of channel or pipe system	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Gutter spread limited to 10ft from the face of the curb	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Hydraulic grade lines show 1ft below inlets	_____

Open Channel Systems:

Yes	No	N/A	Description	Remarks
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Proposed channel capacity analyzed and designed for pre 10-yr storm	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Channel designed for 2-yr Storm without erosion and 10-yr for bank fill (liner design)	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Velocity Check (liners provided, if needed) Provide channel velocities.	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Overlot grading plan.	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Provide 100-yr overland relief assuming pipe system failure.	

CHESAPEAKE BAY REGULATIONS PLAN PAGE:

Yes	No	N/A	Description	Remarks
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	For any property depicted on the city's Chesapeake Bay preservation area map as a resource protection area, applicant shall determine and show on the plan the site-specific boundaries of the RPA components per code section 110-86(c). The applicant shall also submit a RPA site-specific study application available at	

CHESAPEAKE BAY REGULATIONS PLAN PAGE:

Yes	No	N/A	Description	Remarks
			the Zoning Division or at: http://www.fairfaxva.gov/cdp/docs/RPASiteSpecificStudyApplication.pdf	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Water quality impact assessment is required for any proposed development or redevelopment unless the requirement is waived by the Zoning Administrator Application/waiver form is available at the Planning counter or at: http://www.fairfaxva.gov/cdp/docs/WQIAApplication.pdf	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Tree management plan per 110-86 (d).	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	BMP narrative	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	BMP maintenance notes	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	BMP maintenance agreement (available at Planning counter)	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Copies of any required wetland permits.	

Department of Community Development and Planning
City of Fairfax, Virginia

- ☐ ☐ ☐ Water quality calculations in accordance with Chapter 5 of the Virginia Storm-Water Management Handbook _____
- ☐ ☐ ☐ BMP checklists from Virginia SWM Handbook Chapter 3 Appendices B through E as applicable. Checklists can be found at: _____
- ☐ ☐ ☐ * http://www.dcr.virginia.gov/soil_&_water/documents/Chapter_3_Appendix.pdf _____
- ☐ ☐ ☐ * Total number of acres served by proposed or existing BMP _____

{*Denotes items that are required in digital format “dxf” for purpose of updating the City’s GIS data.}

Performance Standards of Chesapeake Bay Regulations:

Yes	No	N/A	Description	Remarks
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Maximize rainwater infiltration.	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Reduce the land application of nutrients and toxics.	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Implement measures to ensure no net increase in nonpoint source pollution from new development and a ten percent reduction over existing conditions from redevelopment (allowable loadings are based on the city’s 45 percent average land cover condition- refer to Section 110-84(b)(7.)	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Minimize erosion and sedimentation potential.	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Limit land disturbance and preserve indigenous vegetation to the maximum extent practicable, consistent with the use or development proposed.	_____

EROSION AND SEDIMENT CONTROL PLAN PAGE:

Yes	No	N/A	Description	Remarks
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	An erosion and sediment control plan including:	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Limits of clearing and grading.	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Existing drainage patterns.	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Critical erosion areas.	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Locations of erosion and sediment controls and stormwater management practices to be used.	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Any off-site land-disturbing activities.	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Detail drawings of structures to be used.	_____

Department of Community Development and Planning
City of Fairfax, Virginia

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A schedule of regular inspections and maintenance.	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Erosion and sediment control narrative including descriptions of:	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Project.	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Existing topography, vegetation and drainage.	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Show all off-site drainage areas that flow to or from the site.	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Neighboring areas such as streams, lakes, residential areas, roads, and the like that might be affected by the land disturbance.	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Any off-site land-disturbing activities.	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Soils, including names, mapping unit, erodibility, permeability, depth, texture and soil structure.	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Areas on the site that have potentially serious erosion problems.	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Methods which will be used to control erosion and sedimentation.	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Specifics regarding permanent stabilization of the site.	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Increases in stormwater runoff and strategies to control runoff.	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Design of temporary sediment basins, permanent stormwater detention basins, diversions, channels, and the like, including calculations supporting proposed design and for pre- and post-development runoff.	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Maintenance plan for E&S control.	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	List minimum E&S standards 1 through 19 and how they are met.	_____

LANDSCAPING PLAN PAGE:

Yes	No	N/A	Description	Remarks
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	The following data in tabular form:	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Tabulation of tree canopy on the site at 10-year maturity and minimum required.	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Required number of landscaped parking islands.	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Buffer requirements- include fence detail and dumpster screening.	_____

FIRE LANE PLAN PAGE:

Yes	No	N/A	Description	Remarks
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A fire protection plan including:	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location, width and radius of all existing and proposed fire lanes.	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location of all fire lane signage.	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location of all structures, denoting area, height, use group, construction type and sprinkler system if present.	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location of alarm annunciator, if present, and key repository.	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location of all existing and proposed fire hydrants, including connection to water mains.	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location of all existing and proposed fire lanes and fire department connections including identification.	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Fire flow data, showing flow available at 20 PSI residual.	

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PROPERTY OWNERSHIP AFFIDAVIT
(To be printed on the plans)

Section 107.3 of the Virginia Uniform Statewide Building Code (VUSBC) requires that all permit applications list the full name and address of the owner of the property for which a permit is being obtained. The City of Fairfax verifies property ownership prior to permit issuance. In certain circumstances, City records will reflect property ownership that is different from that appearing on a permit application. (Discrepancies most commonly occur when a company meets the definition of "owner" as found in VUSBC, but does not have title to the property or when the submission of an application occurs shortly after a transfer of ownership which has not yet been recorded in the City's real estate files.) In such cases it is the responsibility of the owner to provide evidence of property ownership prior to issuance of the permit. This affidavit provides an opportunity for individuals and companies to certify that under the definition of "owner" found in the VUSBC they are the owners of the property for which the application is being submitted. Completed affidavit forms may be submitted to the Zoning Administrator in lieu of providing other documentation such as settlement papers. This affidavit must be completed by the property owner listed on the application and must be submitted prior to permit issuance. If you have any questions, please call the Site Plan Coordinator at 703 385-7892 prior to signing this form. Copies of signed affidavits are unacceptable.

(Please Print or Type)

"Owner" as defined in the current edition of the VUSBC, means "the owner or owners of the freehold of the premises or lesser estate therein, a mortgagee or vendee in possession, assignee of rents, receiver, executor, trustee, or lessee in control of a building or structure."

I, _____, hereby swear under oath that, to the best of my knowledge, the following statement is true. Pursuant to the definition of "owner" found in the current edition of the VUSBC, the individual or company listed below:

Name: _____

Mailing Address: _____

Is the owner of the property located at _____ Lot # _____ and as such may apply for a permit as the owner in accordance with section 107.3 of the VUSBC.

Signature Title Date

STATE/DISTRICT OF _____:

CITY/COUNTY OF _____:

I, _____, a Notary Public in and for the aforesaid State/District hereby certify that _____ appeared before me in the State/District and City/County aforesaid and executed this affidavit on this _____ day of _____, 2____.

Notary Public/Registration #

My Commission Expires the _____ day of _____, 2____.

Department of Community Development and Planning
City of Fairfax, Virginia

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Form Rev. Date 02/12

**CITY OF FAIRFAX
NOTES TO BE INCLUDED ON THE SITE PLAN
PERMITS**

1. A street opening permit is required for any work in a City right-of-way or easement. The permit can be obtained from the Public Works Department. For information, call 703.385.7980 or 703.385.7810.
2. All sidewalks, curbs, gutters, driveways, streets, storm pipes, water lines, sanitary sewer, endwalls and rip-raps must be inspected by the City. All work in the City streets will be performed Monday-Friday between the hours of 9:00 a.m. and 3:00 p.m. No work is to be performed on weekends or holidays unless pre-approved by the Director of Public Works.
3. Inspections performed by the Facilities Inspector will require a four-hour notice prior to inspections.

GENERAL STANDARDS

1. The Public Works Director must be notified one week prior to pre-construction conference, one week prior to commencement of land disturbing activity and one week prior to final inspection. The Site Plan Coordinator in Community Development and Planning (703-385-7820) must be notified one week prior to the pre-construction conference.
2. A preconstruction meeting will be required three days prior to any construction. Contractors will notify the Public Works Department or Facilities Inspector for all work done on site and off site one day prior to starting.
3. The contractor shall provide adequate means for parking construction equipment and provide employee parking on site.
4. All construction shall conform to the latest City of Fairfax standards, Virginia Department of Transportation and the Virginia Sediment & Erosion Control current specifications, except as shown or altered by these plans.
5. Traffic signs found to be in the way at construction sites shall be removed or relocated only by personnel in the Sign & Signal Crew of the Public Works Department at the contractor's request. Any contractor found responsible for moving City property without permission will receive a summons.
6. All building construction shall be in accordance with the current edition of the Virginia Uniform Statewide Building Code. Permits and inspections for building, electrical, plumbing, mechanical and fire protection work are obtained from the Office of Code Administration, 703.385.7830.
7. Private fire mains require a permit from the Office of Code Administration. Permit application must include details of installation as specified in NFPA-24. An approved site plan is not a permit to install fire mains.
8. No portion of any building shall be occupied until a certificate of occupancy has been issued by the Building Official and a use permit by the Zoning Office.
9. No building, except additions or accessories to existing dwellings, shall proceed beyond first floor level until the location of the footing and walls as shown on a plat certified by a land surveyor has been approved by the Zoning Administrator.

Department of Community Development and Planning
City of Fairfax, Virginia

Form Rev. Date 11/09
N:/ FORMS / Site plan & Subdivision pkgs

10. An as-built plan must be submitted within 30 days after completion of all construction.
11. Temporary structures, construction trailers and demolition require permits from the Office of Code Administration prior to start of work or installation.
12. Adequate emergency vehicle access shall be maintained at all times. A hard surfaced, all-weather roadway shall be provided to within 50 feet of all structures and any location where combustible materials are stored.
13. City ordinance permits construction noise, including excavation, between the hours of 7:00 am and 6:00 pm on weekdays and 8:30 am and 5:00 pm on Saturdays ONLY. It shall be the responsibility of the developer to ensure that all contractors and subcontractors comply with this ordinance.
14. The Developer shall be responsible for ensuring compliance with City Code sections limiting growth of grass and weeds to six inches in height.

CONSTRUCTION

1. All subgrade and sub-base material shall be compacted to 95% of theoretical maximum density as determined by A.A.S.H.O. T-99 method A within plus or minus 20% of optimum moisture for the full width of any dedicated right-of-way and all townhouse, apartment, condominium, commercial and industrial parking lots (including storm sewer, sanitary sewer and water).
2. Compaction test shall be performed by the contractor. Subgrade for curb, gutter and sidewalk shall be every 50 feet; sub-base will be alternated every 25 feet. Driveways require two tests on subgrade and sub-base. Copy of results is required prior to placing any type of material. VTM-1 correction also must be used. All structures require two tests on subgrade and sub-base.
3. Compaction tests for roadways shall be performed by the City only, unless approved by the Public Works Director. Compaction tests for all building pads must be submitted to the office of Code Administration for review and approval.
4. All underground utilities within the street right-of-way shall be installed to the required distance beyond the right-of-way.
5. Storm sewer and culvert pipe shall be reinforced concrete pipe to conform to the current A.A.S.H.T.O. designation M170, unless otherwise designated on the plans. Class II pipe is permitted beyond the limits of street rights-of-way. Class III pipe is required within the limits of the rights-ofway.
6. All curb and gutter shown on plans and not in profiles shall be on straight tangent grades. The contractor shall round all vertical breaks with smooth spline curbs.
7. All pavement placed on City right-of-way shall have a mix design approved prior to placing material and a density test performed during placement.
8. Street signs and markings shall be installed by the developer at all street intersections in a location to be determined by the Director of Public Works. Private access ways and alleys shall be clearly designated as such by a sign at every entrance from a public street, stating "private street, privately owned and privately maintained". All street markings and signage will conform to City of Fairfax standards and the Manual of Uniform Traffic Control, per the Street Superintendent.
9. C.B.R. test is required for actual determination of required sub-base thickness prior to construction. Depth of sub-base is based on subgrade C.B.R. value of 10. Where C.B.R. value is less than 10, one-inch of sub-base or base material shall be added for each point below 10 for on site and off site and shall be reviewed by the City of Fairfax for special design.

10. All construction must comply to the Code of Virginia 36-98 and 36-99 by reference as part of the Uniform Statewide Building Code of Virginia, the final fair housing accessibility guidelines (24 CFR Chapter I) and the Americans with Disabilities Act accessibility guidelines (28 CFR, part 36) as per site and right-of-way work compliance.
11. Provide proper distance from back of sidewalk to building for stoops and steps, and the like.
12. All roofs, paved areas, yards, courts and courtyards shall be drained into a separate storm sewer or a combined sewer system.

ENVIRONMENTAL

1. All erosion siltation control to be installed prior to starting project to conform to the current Virginia Erosion and Sediment Control Manual.
2. The contractor shall provide adequate means of cleaning mud from trucks and/or other equipment prior to entering the City of Fairfax rights-of-way. It is the contractor's responsibility to clean streets and allay dust and to take whatever measures necessary to ensure that the road is maintained in a clean and dust-free condition at all times.
3. It shall be the contractor's responsibility to perform the work in such a manner to prevent the washing of any topsoil, silt, or debris onto adjacent properties.
4. If the presence of asbestos is suspected in the soil, the contractor must contact the Air Pollution Control Division of the Fairfax County Health Department at 703.246.2300.
5. Onsite storage of fuel shall be limited to diesel fuel tanks not over 660 gallons capacity. Tanks shall be of a listed type and shall be provided with approved secondary containment, impact protection and placarding. A minimum 2A-40BC fire extinguisher shall be provided in the vicinity of the refueling area. A permit for combustible liquid storage shall be obtained from the Office of Code Administration, 703.385.7830. Fuel shall not be placed in onsite storage tanks until the installation has been inspected and approved.
6. Onsite repair of vehicles and equipment shall be limited to replacement of damaged belts, hoses and tires. Any spill of fuel, oil, hydraulic fluid or anti-freeze greater than one gallon must be reported to the Office of Code Administration at 385-7830. All spills must be cleaned up promptly and in an approved manner.
7. The Owner shall be responsible for ensuring compliance with City Code sections regarding health and safety menaces, including accumulations of water, storage of material, construction debris and security of the site.
8. The link to the asbestos information and map on the Fairfax County website <http://www.fairfaxcounty.gov/hd/asb/>
9. **Prior to the start of any site grading work, the developer or owner shall provide the city of Fairfax Public Works Facilities Inspector with documentation that a VSMP permit has been issued by the VA Department of Conservation and Recreation. The VSMP permit requires that a Stormwater Pollution Prevention Plan (SWPPP) be kept at the construction site at all times.**

LANDSCAPE

1. The area surrounding all trees, shrubs and groundcover shall be topped with two inches of shredded hardwood bark mulch.
2. No changes shall be permitted to the plant list unless approved by the City of Fairfax.
3. Trees shall be classified as per "American Standard for Nursery Stock" as adopted by the American Association of Nurserymen. Plant material below this standard shall not be considered.
 - a) All plants must conform to requirements per plant list;
 - b) All plant materials must be nursery grown stock;
 - c) All trees must be well branched, full crown.
4. At least 5 days before being planted, the Site Plan Coordinator shall be notified that plants are available for inspection.
5. No person shall remove or destroy any tree which is five (5) inches or greater in caliper, measured six (6) inches above ground level, on any lot greater than one-half (1/2) acre without first obtaining a tree removal permit from the Zoning Administrator. Any tree removed, damaged or destroyed will be replaced at the discretion of the Zoning Administrator.

DEPARTMENT OF UTILITIES STANDARD NOTES

GENERAL

1. All water mains and sanitary sewers shall be constructed in accordance with the current City of Fairfax Standards and Specifications.
2. Easements for all sanitary and water mains shall be 10' unless otherwise noted.
3. Sanitary sewers and water mains shall maintain a minimum of 15' horizontal separation from proposed or existing buildings.
4. No landscaping or other utilities (i.e. gas, phone, cable, etc.) are permitted in the water and sewer easements, except at crossings.
5. Contractor shall request pre-construction meeting and inspection by the City of Fairfax Department of Public Works (703.385.7810) three days prior to commencing construction of any water and sewer mains.
6. A permit for installation of sanitary sewers, fire hydrants and water mains shall be obtained from the Department of Public Works.
7. Prior to any water main installation, all required sanitary sewers, including laterals, and storm sewers must be installed and backfilled to 95% compaction.
8. Water and sewer laterals not within an easement require plumbing permits and inspections from the Office of Code Administration. The inclusion of these items does not constitute a permit.
9. Final approval from the City of Fairfax Department of Utilities is contingent upon receipt by the Department of plans showing the location of ALL proposed utilities. ALL proposed utilities are to be located out of the water or sewer easements, except for crossings.

WATER MAIN

1. Water services shall maintain a minimum of 6' horizontal separation from sanitary laterals.
2. All hydrants and meter crocks shall maintain 5' horizontal separation from edge of driveway aprons, when possible.
3. Water mains shall maintain a minimum 2.5' horizontal separation from edge of gutter pan, except at designated crossings.
4. All water mains less than or equal to 12" in diameter shall be class 52 ductile iron pipe with

cement lining. All water mains greater than 12" in diameter shall be class 54 ductile iron pipe with cement lining.

5. A 2" detectable marking tape shall be placed 2' above all water mains.
6. Contractor is responsible to install type K Copper with AWWA approved corporation stop and angle valve for all water service lines smaller than or equal to 2", and extend a 5' section (Pig Tail) beyond the meters. Meter boxes, yokes, angle valves, and dual check valves will be provided by the City of Fairfax Department of Utilities.
7. Pressure testing and disinfection of water mains shall be in accordance with AWWA C-600 and AWWA C-601 Standards, respectively.
8. Water valves shall be operated by the Department of Utilities' staff only (703.385.7920; after hours call 703.385.7924).
9. Water valve box lids shall have the word "Water" or the letter "W" cast in them.
10. Fire line valve box lids, at connection to city water main, shall have the word "Fire" cast in them. Minimum fire valve size is 6".
11. No blasting is permitted within city limits and within 50' of city's transmission main in Fairfax and Loudoun Counties.
12. All water mains shall have a minimum cover of 4'
13. Proposed fire hydrants shall be painted by the contractor per city specifications, and shall be equipped with the Department approved reflective information ring. The paint shall consist of two additional coatings on top of the coating provided by the hydrant manufacturer.
Safety Red – B54 R38 617-4064
Pure White – B54 W101 7907-99993
14. Proposed and existing fire hydrants that have been taken off line for construction reasons or have not yet been approved for use by the city's inspector shall be "bagged" to alert the Fire Department.

SANITARY SEWER:

1. Sanitary sewers shall be PVC DR-25 per AWWA C-900, unless otherwise noted.
2. Sanitary sewer laterals shall be 4" PVC DR-25 between the main and the property line and shall enter the main at 90 degrees. A cleanout shall be installed at the property line.
3. A 2" detectable metal marking tape shall be placed 3-feet above all sanitary sewers.
4. The Department of Utilities shall inspect sanitary sewers by a camera after the lines are put in service.
5. Finish grade shall drain away from manholes located outside of pavement areas.
6. Top of manholes located outside of pavement areas shall be 3" above final grade, except in established lawns where it shall match the final grade.
7. Manholes shall have bituminous coating on the outside walls.
8. All sanitary manhole lids shall be heavy duty and shall have the words "Fairfax City Sewer" cast in them.
9. Drop manholes shall have an 8" inside drop pipe.
10. Manholes in 100 yr. Flood plain shall have watertight lids.
11. All testing is provided by the contractor, as directed by the city inspector.

CITY OF FAIRFAX NOTES TO BE INCLUDED ON THE SITE PLAN

NOTES TO BE INCLUDED ON RESIDENTIAL PLANS

No building shall proceed beyond the first floor level until the horizontal location and elevation of the top of each foundation wall as shown by certified surveyor's plat thereof, has been approved by the Zoning Administrator.

It shall be the developers and/or owners responsibility to perform the work in such a manner to prevent the washing of topsoil, silt, or debris onto adjacent properties.

It shall be unlawful for any person to engage in land disturbing activities of two thousand five hundred (2,500) square feet or more for any purpose until a permit is issued by the plan-approving authority.

All Erosion Control to be installed prior to starting project to conform to the current Virginia Erosion Control Manual.

A street opening permit is required for any work in the City right-of-way or easement. The permit can be obtained from the Public Works Department. For information call 385-7983 or 385-7828.

All on-site utilities shall be installed underground in accordance with city and applicable utility company standards.

No portion of the building shall be occupied until a Residential Use Permit has been issued by the Zoning Administrator.

The developer shall provide adequate means of cleaning mud from trucks and/or equipment prior to entering the City of Fairfax rights-of-way. It is the developers responsibility to clean streets and to take measures necessary to ensure that the road is maintained in clean and dust-free condition at all times.

The developer shall provide for adequate storm drainage so that the proposed improvement of the property does not direct concentrated flow to adjoining properties. The drainage shall be approved by the City Building Inspector and Facilities Inspector prior to issuing the occupancy permit.

Each development shall provide for the planting or retention of trees on the site to the extent that, at a maturity of ten years, the minimum lot coverage shall be twenty (20) percent for a site zoned R-2, R-3, RT-6, RT or any other residential site zoned three (3) to ten (10) units per acre.

Any application proposing to remove or destroy existing trees in conjunction with any land development activity shall submit a tree management plan containing such information as deemed necessary by the zoning administrator (Sec. 26-62(c)).

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CITY OF FAIRFAX
Site Plan Review Fee Calculation Sheet

Project Name: _____ **Site Plan #** _____

<u>Site Plan Review Fees (# 316462)</u>			
<u>Category</u>	<u>Rate</u>	<u>Measurements</u>	<u>Fee</u>
Base Fee \$6,600 (major); 2,750 (minor); 1,100 (amendment)			_____
Second and Subsequent Revision \$550 each additional submission			_____
Bituminous Surface	\$0.44/sq.yd.	_____	_____
Sidewalk	\$0.77/lin.ft.	_____	_____
Curb & Gutter	\$0.77/lin.ft.	_____	_____
Header Curb	\$0.77/lin.ft.	_____	_____
Storm Drainage	\$3.85/lin.ft.	_____	_____
Sanitary Sewer	\$2.00/lin.ft.	_____	_____
Water	\$2.00/lin.ft.	_____	_____
Required Screening	\$2.00/lin.ft.	_____	_____
Overlot Grading	\$220 per division of land or disturbed acre or fraction thereof (whichever is greater); plus \$100 per inspection conducted by the Dept. of Public Works	_____	_____
Tree Management	\$110 per division of land or disturbed acre or fraction thereof (whichever is greater)	_____	_____
Water Quality Impact Assessment Review (\$110 per individual residential lot)	\$330	_____	_____
Site Plan Review Fee Total			_____

FEES:**Erosion & Sediment Plan Review (#313310)**

Base fee of \$550.00 up to ½ acre of disturbed land, Acre: _____ Fee:\$ _____

includes 1 site inspection; each additional inspection is \$100.00

Base fee of \$550.00 plus \$100.00 per acre or fraction thereof, Acres: _____ Fee:\$ _____

Includes 1 inspection, each additional inspection is \$100.00

Reinspection following violation @ \$200.00; \$300. if a stop work order has been issued (per inspection)

After-Hours Inspection fee @ \$200.00 minimum up to 4 hours

Overtime Related to Inspections @ 150.00

Rescheduling fee for site inspection \$45.00

RPA delineation/determination \$275.00

=====

Surety Review (#316466)

Performance bond, letter of credit, cash escrow:

Less than \$100,000 \$275.00 each _____

\$100,001-300,000 \$550.00 each _____

> \$300,000 \$800.00 each _____

Request for reduction \$275.00 each _____

Request for replacement/ _____

Release \$275.00 each _____

=====

TOTAL REVIEW FEE: _____

Fee computed by: _____ Date _____

Name and Title

*Please review City fee schedule for additional fees that may apply to your project.

**CITY OF FAIRFAX
SITE PLAN REVIEW NOTIFICATION**

The Zoning Office requires the applicant to notify by certified mail the owners of each property abutting or across the street from the subject property informing them that the site plan has been submitted and will be considered for approval not less than ten days after receipt of notice.

SAMPLE NOTICE:

Date

Dear Property Owner:

Pursuant to Section 110-102(e) of the City of Fairfax Zoning Ordinance, you are hereby notified that a site plan has been submitted to the Zoning Office for consideration.

You are invited to review this site plan in the Zoning Office, Room 207, City Hall. Should you have any objections to this plan, you must file your objections, in writing, with the Zoning Office within ten days after receipt of this notice.

Site Plan name and number
Type of use
Address

Applicant's signature and address

cc: Zoning Administrator/Case Manager

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**CITY OF FAIRFAX
DEPARTMENT OF COMMUNITY DEVELOPMENT AND PLANNING**

Water Quality Impact Assessment (WQIA) and Waiver Application

The Water Quality Impact Assessment requirements are described on the following pages. Please review these requirements, compute your WQIA calculations (or waiver request) and complete the application provided with these instructions. The request to waive the requirement for a WQIA can be made by completing Section II.

Submit the completed application, WQIA calculations (or waiver request) and review fee along with the site plan application and fees to the Department of Community Development and Planning, Zoning Division.

**WQIA review fees: \$110 per individual residential lot or \$330 for other development
Account #316462**

Project Name: _____

Project Address: _____

Tax Map Number: _____

Property Owner: _____

Address: _____ Phone: _____

E-mail: _____

Applicant (If different from Owner): _____

Address: _____

E-mail: _____

Engineer: _____

Address: _____ Phone: _____

Land Surveyor (if different): _____

Address: _____ Phone: _____

Wetlands Expert (if different): _____

Address: _____ Phone: _____

The Water Quality Impact Assessment is conducted to identify the impacts of proposed development on water quality and lands within resource protection and resource management areas; to ensure that where development does take place it is located on those portions of a site and in a manner that is least disruptive to the natural functions of the land and to specify mitigation measures to address water quality protection.

The applicant shall submit a WQIA in accordance with Section 110-85(b) for:

1. Any proposed land disturbance , development or redevelopment within a resource protection area including any buffer area modification or reduction as provided for in section 110-84; or
2. Any proposed development or redevelopment in the resource management area that may significantly impact water quality due to the unique characteristics of the site or intensity of the proposed use or development.
3. Upon determination that the proposed development or redevelopment would not significantly impact water quality, the zoning administrator may waive this requirement as stated in subsection 110-80(e).

I. Development Characteristics

You must submit either a minor or major WQIA for your project unless you receive a waiver. The below conditions will determine whether you submit a major or minor WQIA.

Submit a **Minor WQIA** if you answer “Yes” to either of these development characteristics (Section 110-85(c)):

_____ 5,000 square feet of disturbance or less

_____ Encroachment onto the landward 50 feet of the 100-foot buffer area

(Skip to Section III, Minor WQIA Requirements)

Submit a **Major WQIA** if you answer “Yes” to any of these development characteristics (Section 110-85(d)):

_____ Over 5,000 square feet of disturbance

_____ Encroachment onto the seaward 50 feet of the 100-foot RPA buffer area

_____ Location in the resource management area and is deemed necessary by the Zoning Administrator.

(Skip to Section IV, Major WQIA Requirements)

II. WQIA Waivers

_____ Check here if you plan to submit a WQIA waiver request.

To submit a WQIA waiver request, attach a report detailing how the proposed development or redevelopment does not significantly impact water quality.

III. Minor WQIA Requirements (Section 110-85(c))

The minor WQIA calculations will demonstrate that the remaining buffer area and best management practices will result in removal of no less than 75 percent of sediments and 40 percent of nutrients from post development stormwater runoff.

Requirements for a minor WQIA scaled site drawing include:

- 1) Location of the components of any RPA, including the 100 foot buffer area;
- 2) Location and nature of proposed improvements, including:
 - a. Type of paving material;
 - b. Areas of clearing or grading;
 - c. Location of any structures, drives, or other impervious cover; and
 - d. Sewage disposal systems or reserve drain field sites;
- 3) Type and location of proposed best management practices to meet the required general performance standards specified in Section 110-84;
- 4) Location of existing vegetation on site, including the number and type of trees and other vegetation to be removed to accommodate the encroachment or modification; and
- 5) A revegetation plan that supplements the existing buffer vegetation in a manner that provides for pollutant removal, erosion and runoff control.
- 6) Certification of all required information as complete and accurate by a Class IIIB certified land surveyor and a certified wetlands delineator.

IV. Major WQIA Requirements (Section 110-85(d))

Requirements for a major WQIA include:

- 1) All of the information required in a minor WQIA (Section III above);
- 2) Hydrological element that describes:
 - a. Existing topography;
 - b. Estimates of soil characteristics and potential for erosion;
 - c. Hydrology of the area;
 - d. Proposed mitigation measures; and
 - f. Listing of requisite permits with permit or application status.

- 3) Landscape element that describes:
 - a. Existing trees required to be identified as part of a Tree Management Plan in accordance with subsection 110-252(c);
 - b. Limits of clearing and grading;
 - c. Trees and indigenous vegetation that are to be preserved within the disturbed area;
 - d. Measures to be taken to protect vegetation, proposed plantings and other vegetative measures used to enhance water quality; and
 - e. Proposed construction schedule that includes all activities related to clearing, grading and proposed plantings.
- 4) Such other measures as deemed necessary by the Zoning Administrator to ensure the impact to water quality can be accurately predicted; and
- 5) Certification of all required information as complete and accurate by a Class IIIB certified land surveyor and professional wetlands delineator.

V. Evaluation Procedure (Section 110-85(f))

Minor WQIA

The Zoning Administrator shall determine if any proposed modification or reduction to the buffer area is consistent with the provisions of this division and make a finding based upon the following criteria:

110-85(f)1.	Minor WQIA Criteria	Satisfied (Y/N)
a.	The proposed encroachment is necessary and there is no other location on site to place improvements without disturbing the buffer area.	
b.	The impervious surface is minimized.	
c.	The proposed best management practices, where required, achieve the requisite reductions in pollutant loadings.	
d.	The development, as proposed, meets the purpose and intent of this division.	
e.	The cumulative impact of the proposed development, when considered in relation to other development in the vicinity, both existing and proposed, will not result in a significant degradation of water quality.	
f.	Any other information deemed necessary by the Zoning Administrator.	

Major WQIA

The Zoning Administrator shall determine if the proposed development is consistent with the purpose and intent of this division and make a finding based upon the following criteria:

110-85(f)2	Major Water Quality Criteria	Satisfied (Y/N)
a.	The disturbance of any wetlands is minimized.	
b.	The development will not result in significant disruption of the hydrology of the site.	
c.	The development will not result in significant degradation to aquatic life.	
d.	The development will not result in unnecessary destruction of plant materials on site.	
e.	Proposed erosion and sediment control concepts are adequate to achieve the reductions in runoff and prevent offsite sedimentation.	
f.	Proposed stormwater management measures are adequate to control the stormwater runoff to achieve the required performance standard for pollutant control.	
g.	Proposed revegetation of disturbed areas will provide optimum erosion and sediment control benefits.	
h.	The design and location of any proposed drain field will be in accordance with the general performance standards outlined in section 110-84.	
i.	The development, as proposed, is consistent with the purpose and intent of this division.	
j.	The cumulative impact of the proposed development, when considered in relation to other development in the vicinity, both existing and proposed, will not result in a significant degradation of water quality.	

WQIA Approved/ Waiver Approved

Special Projects Engineer

Date

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SITE PLAN ORDINANCE

Below is a copy of the Site Plan Ordinance, which is an excerpt of Chapter 110 of the City Code. Chapter 110 contains the City's zoning regulations and the applicant is responsible for knowledge of all zoning regulations applicable to the proposed development. Copies of Chapter 110 in its entirety can be purchased from the Zoning Office, Room 101, City Hall.

DIVISION 4. SITE PLANS¹

Section 110-101. Development of land use requiring a site plan.

- (a) A site plan is required for any use or development of property located in any zoning district, except:
 - (1) Single-family detached dwellings, related accessory structures and any special use not requiring physical alterations to the lot or building.
 - (2) Temporary public uses which do not exceed thirty (30) days in duration.
- (b) No building permit or certificate of occupancy shall be issued for a development requiring a site plan until the site plan has been approved.

Section 110-102. Procedure

- (a) All site plans which are appropriately submitted and conform to the standards and requirements set forth in this chapter shall be approved by the plan approving agent designated by the city manager, hereafter referred to as the agent.
- (b) The property owner or his designee shall submit to the zoning administrator a completed application and twelve (12) prints of the site plan.
- (c) Site plans shall be prepared and certified by an engineer, architect, land surveyor or landscape architect duly authorized to practice by the Commonwealth of Virginia. No person shall prepare or certify any portion of a site plan which is outside the limits of his professional expertise and license.

¹ Editor's note: Ord. No. 1986-29, adopted June 24, 1986 amended Div. 4 in its entirety to read as herein set forth. Prior to such amendment, Div. 4, consisting of Sections 26-20--26-28 and 26-30, pertained to similar subject matter and was derived from: ordinance of Dec. 7, 1960, Section 3; ordinance of Dec. 2, 1969; ordinance of Feb. 5, 1974; Ord. No. 1975-14, adopted April 8, 1975; Ord. No. 1978-2; Ord. No. 1980-13, Section 2, adopted July 15, 1980; Ord. No. 1984-10, adopted Sept. 11, 1984; and Ord. No. 1984-27, adopted Dec. 18, 1984.

- (d) Site plans shall be prepared at a scale of not less than one (1) inch equals fifty (50) feet and shall be submitted as twenty-four (24) by thirty-six (36) inch blue or black line copies unless excepted by the agent. Each site plan shall contain all information required by this chapter.
- (e) With the site plan, the applicant shall submit applicable fees consistent with the adopted fee schedule and certified mail receipts from notices sent to the owners of each property abutting or across the street from the subject property informing them that the site plan has been submitted and will be considered for approval not less than ten (10) days after receipt of the notice. If the adjacent development is of condominium ownership, then notification sent to the condominium association shall be sufficient to satisfy this provision.
- (f) Written comments pertaining to a site plan may be filed with the zoning administrator by any interested party within the period prescribed in the notice.
- (g) The site plan shall be forwarded to the board of architectural review pursuant to section 110-1072 if the subject site is located in the Old and Historic District.
- (h) The agent shall notify the applicant in writing of the action to approve or deny the site plan and shall forward a copy to the zoning administrator. In the event that a site plan is denied, the agent shall indicate the reasons for denial. The agent's decision may be appealed to the board of zoning appeals in accordance with section 110-1105 et seq. (Ord. No. 1986-29, 6-24-86)

Section 110-103. Required information.

All site plans shall contain the following information:

- (1) Location of tract by an insert map at a scale of not less than one inch equals two thousand feet (1" = 2000'), indicating scaled coordinates referred to in U.S.C. & G.S., state grid north and such information as the names and numbers of adjoining roads, streams and bodies of water, railroads, subdivisions, towns, and districts or other landmarks sufficient to clearly identify the location of the property.
- (2) Name and address of the owner or developer and contract purchaser (if any), north point, scale of the drawing and date of preparation and revisions.
- (3) Boundary of the entire tract by courses and distances with reference to true meridian or state grid system and area of the tract.
- (4) All horizontal dimensions shown on the site plan shall be in feet and decimal fractions of a foot to the closest one hundredth of a foot (.00), and all bearings in degrees, minutes and seconds to the nearest ten (10) seconds.
- (5) Certificate signed by the surveyor or engineer setting forth the source of title of the owner of the tract and the place of record of the last instrument in the chain of title.

- (6) Certified topographic map of the parcel at a minimum two-foot contour interval, showing existing and proposed contours and delineating the one-hundred-year floodplain elevation, if applicable.
- (7) USGS datum used for all elevations with location and elevation of benchmark shown.
- (8) Locations and dimensions of existing and proposed:
 - (a) Structures on the site showing distance to lot lines and centerlines of adjacent streets;
 - (b) Streets and easements on and adjacent to the site with rights-of-way and pavement widths;
 - (c) Driveways and curb cuts on the site and adjacent properties;
 - (d) Parking and loading areas; all off-street parking, related driveways, loading spaces and walkways, indicating type of surfacing, size, angle of stalls, width of aisles and location, height and intensity of proposed lighting;
 - (e) Sidewalks, trails and open space;
 - (f) Median strip openings and their relationship to the site;
 - (g) Water and sanitary sewer facilities, indicating all pipe sizes, types, and grades and the location of connection to public utility systems;
 - (h) Underground electric, telephone and television cables, both on-site and in adjacent rights-of-way.
 - (i) Street and site lighting, indicating all fixture styles and heights, types of luminaire, location of fixtures, and foot candle and uniformity values.
- (9) Proposed elevations at control points such as driveways, ramps and any other locations determined by the agent to be necessary for the adequate evaluation of the plan.
- (10) The proposed location and general use of each building, including outside display areas.
- (11) Angles of bulk plane where minimum angles of bulk plane are prescribed by the provisions of this chapter.
- (12) Sufficient information to show how the physical improvements associated with the proposed development such as walkways, driving lanes, and curb and gutter interrelate with existing or proposed development of record on adjacent properties.

- (13) A tree management plan as required in Division 10 and a landscaping plan showing the location, number, type and size of all proposed plant material at the planting and maturity stages. The landscaping plan shall also depict all trees existing on-site prior to development which are larger than five (5) inches in diameter and which of those shall be retained.
- (14) Location, type, materials, size and height of fencing, retaining walls and other screening including an elevation drawing.
- (15) Vertical cross-sectional view showing:
 - (a) Height of proposed structures.
 - (b) Number of stories.
 - (c) Location and access to underground parking.
 - (d) Proposed grades of each floor, including basements.
- (16) Plan of each proposed parking garage level.
- (17) Additional information deemed essential by the agent to permit adequate review of the plan.
- (18) The following data in tabular form:
 - (a) Area of parcel in square feet.
 - (b) Proposed gross floor area and the area of the above grade horizontal surface of any parking structure.
 - (c) Proposed floor area ratio and maximum permitted.
 - (d) Number and type of dwelling units.
 - (e) Number of parking and loading spaces required and proposed.
 - (f) Special exceptions or variances granted or requested.
 - (g) Landscaped open space required and proposed.
 - (h) Tabulation of tree canopy on the site at ten year maturity.
- (19) Provisions for erosion and sediment control and the disposition of natural and stormwater including the proposed location, sizes, types and grades of ditches, catchbasins and pipes and connections to existing drainage systems. (Code 1978, 26-23).

Section 110-104. Exceptions.

The agent, after consultation with the zoning administrator, may waive the submission of some of the information required by section 110-103 if he determines that the proposed use or development may be adequately reviewed without some of the required information, if the proposed building or addition does not exceed two thousand (2,000) square feet of gross floor area and a site plan has previously been approved for the property. (Code 1978, 26-23).

Section 110-105. Review Standards.

In furtherance of the purposes of this chapter and to assure the public safety and general welfare, no site plan shall be approved unless the following are incorporated into the plan:

- (1) Provisions for safe and functionally efficient traffic circulation and control on the site, and access to adjacent sites and public rights-of-way;
- (2) Provisions for adequate fire protection approved by the fire marshal, and adequate water and sanitary sewer facilities approved by the director of utilities;
- (3) Compliance with design criteria, construction standards and specifications for required public improvements adopted by the Code of the City of Fairfax or by the Commonwealth of Virginia;
- (4) Provisions for pedestrian traffic and connection of proposed sidewalks and bicycle trails to the city's system where such system is existing or planned adjacent to the proposed development;
- (5) Provisions for adequate storm water management and erosion and sediment control measures as specified in this chapter;
- (6) Proof of easements required to develop or use the property as indicated in the plan;
- (7) Provisions for service roads on property bordering arterial streets where adopted city plans specifically indicated such roads. However, notwithstanding the requirements of sections 110-763, 110-783 and 110-803, no proposed structure shall be located closer than ten (10) feet from the service road right-of-way or easement line;
- (8) Dedication to the city of rights-of-way for streets, service roads (if required) and other facilities for public use (e.g., utilities and park areas), and easements necessary for their construction and maintenance;
- (9) Delineation of each "no parking," reserved parking and handicapped parking area on the site;

- (10) Adequate provisions for refuse disposal. If dumpsters are used for refuse disposal, then each dumpster shall be located on a concrete pad with minimum dimensions of twenty (20) feet by twelve (12) feet and screened in accordance with the requirements contained in Division 10. Refuse disposal areas shall be located so that they are accessible by a disposal truck without impeding traffic or encroaching upon required parking spaces;
- (11) The underground installation of all on-site utilities in accordance with city and Applicable utility company standards. In addition, when the proposed development will result in moving or relocating existing overhead utilities located in adjoining rights-of-way, the applicant shall be responsible for placing such utilities under ground and dedicating any additional right-of-way or easement that is necessary. Equipment such as electric distribution transformers, switchgear, meter pedestals and telephone pedestals which is normal installed above ground in accordance with general accepted utility practice for underground distribution may be so installed. Temporary overhead facilities required for construction purposes shall be permitted. The city council may grant special exceptions to modify the requirements of this provision if the applicant clearly demonstrates that the requirements pertaining to the underground placement of utilities in adjacent rights-of-way will result in an expense which exceeds five (5) percent of the total cost of the proposed construction. Special exceptions shall only be granted by city council pursuant to the procedures and limitations established for special use permits set forth in section 110-366;
- (12) Provisions for adequate site and street lighting to provide safety and security for both pedestrian and vehicular traffic. Lighting fixture style shall be compatible with the architecture of the buildings located on the site. On-site lighting shall be directed downward and inward to prevent spill light on adjacent property. No lighting fixture within or immediately adjacent to any residential district shall exceed twelve (12) feet in height, nor shall any lighting fixture located elsewhere exceed twenty (20) feet in height. The site plan shall address lighting for facilities which may require special lighting. White light sources/luminaires shall be used to provide improved color rendition, unless otherwise approved by the agent. Levels of illumination shall be consistent with the foot candles and uniformity values specified in the illuminating Engineering Society Lighting Handbook.
- (13) Compliance with all requirements of this chapter.

Section 110-106. Screening

Screening from adjacent property shall be provided in accordance with the requirements contained in Division 10, Tree Preservation, Landscaping and Screening.
(Code 1978, 26-25)

Section 110-107. Completion agreement and bond

- (a) Prior to approval of any site plan, there shall be executed by the owner or developer and submitted with the site plan an agreement in form and substance as approved by the city to construct all physical improvements required by the provisions of this chapter. A bond, with surety or condition acceptable to the city, in the amount of
- (1) One hundred (100) percent of the estimated cost of all required improvements which are to be dedicated to public use or connected to a public facility; and
 - (2) Twenty-five (25) percent of the estimated cost of all other required physical improvements; and
 - (3) One hundred (100) percent of the estimated cost of all plant material required by this chapter or designated to be preserved in the development process.
- (b) All estimates of cost shall accompany the site agreement and shall be subject to approval by the site plan approving agent. The aforesaid agreement and bond shall be provided to ensure completion of all work or improvements therein stated within the time cited in the agreement and determined by the agent. The completion time may be extended by the city manager upon written application by the owner or developer, signed by all parties to the original agreement and to the bond. The adequacy, conditions and acceptability of any bond hereunder shall be determined by a bond committee appointed by the city manager. In any case where the bond committee has rejected any such agreement or bond, the owner or developer may appeal such decision to the city council.
- (Code 1978, 26-26)

Section 110-108. Inspection and supervision during installation.

- (a) The construction standards for all off-site and on-site improvements required by this division shall conform to applicable plumbing, building, electrical, fire and health codes, and other applicable laws, ordinances and regulations. The director of public works shall approve the plans and specifications for all required improvements, and shall supervise inspection of the construction of such improvements to assure conformity.
- (b) The developer or owner shall notify the director of public works not less than twenty-four (24) hours prior to undertaking construction of streets, storm sewer work and other facilities to be publicly maintained.
- (c) The developer or owner shall provide adequate supervision of all work related to the development of the site, and shall have a responsible superintendent or foreman, together with one set of approved plans, profiles and specifications, available at the site at all times while work is being performed. (Code 1978, 26-27)

Section 110-109. Certificates of Occupancy.

- (a) A certificate of occupancy shall be issued by the zoning administrator only for developments which conform to approved site plans.
- (b) Temporary certificate of occupancy:
 - (1) A temporary certificate of occupancy shall be issued for an approved project if remaining improvements are limited to landscaping and paving which cannot be completed because of adverse climatic conditions provided that each area to be paved has been provided with a dustless surface such as B-3 base coat and the zoning administrator has determined that the issuance of such certificate will not be detrimental to the public health, safety and welfare.
 - (2) A temporary certificate of occupancy shall also be issued for a completed section or phase of an approved project provided that it conforms to applicable regulations, it is independently functional with respect to the remainder of the project, a phasing plan has been approved, and all on-site and off-site improvements pertaining to the completed section have been completed, inspected and approved except as provided for in subsection (b)(1) of this section.
 - (3) A temporary certificate of occupancy shall be valid for a period of ninety (90) days from issuance and may be renewed for a single ninety-day period upon written application, by the owner or developer provided that all other work in progress conforms to the approved site plan and applicable requirements.
- (c) A permanent certificate of occupancy shall be issued only after:
 - (1) The owner or developer has submitted the appropriate application; and,
 - (2) All necessary inspections for on-site and off-site construction have been completed to the satisfaction of the zoning administrator; and
 - (3) A certified "as built" site plan has been filed for the project. The "as built" site plan may be a copy of the original approved site plan with an affidavit attached stating that all construction has been completed in compliance with the approved plan, or shall show all deviations from the approved plan with an affidavit attached stating that no deviations exist except those shown. The "as built" plan shall be certified by an engineer, architect or land surveyor to the limits of his license.
 - (4) The owner or developer, after completion of all off-site improvements and discharge of the performance bond, has provided a two-year warranty bond with surety equal to ten (10) percent of the original completion bond in a form satisfactory to the city. (Code 1978 26-28).

Section 110-110. Validity of approved site plans.

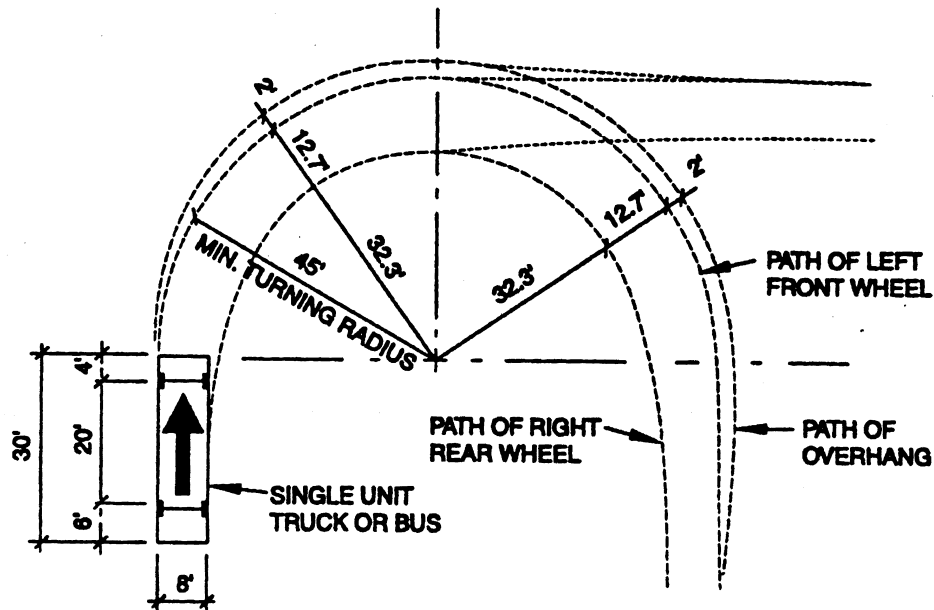
An approved site plan shall become null and void if no grading or construction has commenced on the site within twelve (12) months after approval. The agent may grant a single one-year extension upon written request of the applicant provided that the request is made at least thirty (30) days prior to the expiration date of the approved site plan. (Code 1978, 26-28).

Secs. 110-111—110-125. Reserved.



City of Fairfax
 Department of Fire and Rescue Service
Office of Code Administration
 10455 Armstrong Street
 Fairfax VA, 22030

Bulletin



SECTION F-3.6 Fire Lanes and Emergency Access and Roadways and Special Provisions

F-3.6 Designation.

The fire official shall designate fire lanes on public streets and on private property where necessary to ensure that firefighting and rescue apparatus has the required access to fire department connections, buildings and structures. Fire lanes shall have a minimum width of eighteen (18) feet or wider. Fire lanes serving structures greater than 30 feet in height or schools shall have a minimum clear width of 22 feet. Approved road widths see table 3.5.2. "Dead end" fire lanes over 150 feet in length shall be provided with an approved turnaround. Approved turnarounds, see table 3.5.1. All curved sections of fire lanes shall have a minimum outside radius of 45 feet.

Fire lanes shall not exceed 10% slope in any direction. Pavement sections shall be designed to support vehicles weighing up to 75,000 pounds. Where gates are to be installed across a fire lane, the following conditions must be observed:

- The gates must be maintained in an operable condition or be fixed in the open position.
- A means of manually opening the gate in the event of power failure must be provided.
- A key operated switch to the satisfaction of the fire official must be provided.

Table 3.6.1 Approved turnaround

Length (feet)	Width (feet)	Turnarounds Required
0-150	20	None Required
150-500	20	120' hammerhead or 60' Y 96' diameter cul-de-sac
501-750	26	120' Hammerhead or 60' Y 96" diameter cul-de-sac
Over 750	Special approval required	

Table 3.6.2 Standard Fire and Emergency Access Roadway.

Standard Requirements for parking restrictions

Street Width Curb to Curb	One Way Traffic	Two Way Traffic
Less than 20'	No parallel parking on either side of the street	No parallel parking on either side of street
20' to 26'	Parallel parking on one side As decided by and approved by Fire Marshal	No Parallel parking on either side of street
26' to 32'	Parallel parking allowed both sides of street	Parallel parking on one side As approved and decided by Fire Marshal
32' or greater	Parallel parking allowed on both sides of street	Parallel parking allowed on both sides of street

F-3.6.3. Signs and markings.

The property owner or designee shall supply and install signs and other required markings to delineate fire lanes as directed by the fire official. The cost of which will be born by the property owner or designee.

F-3.6.4. Specifications.

Fire lanes shall conform to the following specifications:

Metal construction, dimensions twelve (12) inches by eighteen (18) inches. Red letters on a reflective white background with three- eighth's -inch red trim strip around the entire outer edge of the sign. Signs shall be mounted with the top of the signs seven (7) feet above grade.

Lettering size to be as follows:

"NO PARKING" - 2 inches,

"OR" - 1 inch,

"STANDING" - 2 inches,

"FIRE LANE" - 2 ½ inches,

Arrow's 1 inch solid, Spacing between words to be uniform.

Type "A"
arrow to the right



Type "B"
arrow to the left



Type "C"
arrows in both directions



Type "D" two signs back to back perpendicular to the street.

1. Other type signs or markings approved by the fire official.
2. Curbing shall be painted yellow within the limits of the fire lane.
3. Striping may be required to be marked as needed on the road surface.

Section F-3.6.5 Fire Lane restrictions

- (1) It shall be unlawful for any person to park in the designated and marked area, except for school buses that are in the process of receiving or discharging students as long as the bus driver remains with the bus at all times. For the purposes of this subsection, the term "park" shall mean the standing of a vehicle, whether occupied or not, except while obeying traffic regulations, signs or signals or except while involuntarily stopping because of causes beyond the control of the operator of the vehicle.
- (2) In any prosecution under this section, proof that the vehicle described in the complaint, summons or warrant was parked in violation of this code, together with proof that the defendant was at the time of such parking the registered owner of the vehicle, shall constitute a prima facie evidentiary presumption that such registered owner of the vehicle was the person who parked the vehicle at the place and at the time such violation occurred.
- (3) In addition, the vehicle parked in violation of this section may be impounded by the City of Fairfax Fire Marshal's Office, Fairfax Police Department or the city fire marshal's office and held until the penalty provided and the towing and storage charges incurred are paid.
- (4) This section shall be enforced by the city fire marshal or his staff and the city police department.
- (5) Penalty for violation of this section shall be a fine of fifty dollars (\$100.00) for each offense.

Section F-3.6.6 Existing signs.

It shall be unlawful for any person to deface, injure, tamper with, remove, destroy or impair the usefulness of any posted fire lane sign installed under the provisions of this code.

City of Fairfax Digital Data Submission Requirements for GIS

Background:

The City of Fairfax has developed a geographic information system (GIS) to store, manage, and maintain geographic data. The local land development, engineering, and surveying communities have also embraced digital technologies in their own fields. Because development plans are now created using computer aided design and drafting (CAD) software, it is the goal of the City of Fairfax to utilize these techniques to enhance and expedite the design and plan review process within the City and help maintain a digital database of geographic information. For this, requirements have been implemented to allow CAD and other GIS data to be integrated into the City's GIS while preserving the referential and positional accuracy of the original measurements.

Requirements:

1. **Data *must* be in DXF format if from AutoCAD, Microstation or another Cad software program, or ESRI Shapefile if from a GIS software program. (DWG and DGN files will *not* be accepted)**
2. Data *must* be projected in Virginia State Plane North, NAD 83 Harn. Data *must* fit in seamlessly with City's GIS data layers.
3. Data *must* be separated into *individual* thematic layers and labeled accordingly.

Layers Required (project dependant)

Building footprints

Parking configuration (including islands, no parking stripes) (Commercial)

Driveways (Residential)

Street Centerlines

Parcel / Property boundaries

Utility Lines (sewer, water, electric, gas, fiber optic cable, phone lines, etc.)

Sidewalks

Easements

Landscaping/tree cover (post development)

Topography (to include vertical datum reference in National Geodetic Vertical Datum of 1929 (NGVD29)).

Minimum of four (4) digital grid ties in NAD 83 Virginia State Plane Coordinate System.

Right-of-way

Stormwater lines, structures, outlets

Best Management Practice (BMP) (include polygon showing drainage area to each BMP)

4. A text file or word document *must* accompany the digital data with a description of each layer. POCs for electronic plat submission requirements are with Maurice Rioux, GIS Manager with the Dept. of Information Technology at maurice.rioux@fairfaxva.gov

This information is also available on the City's website www.fairfaxva.gov/it/gis.asp

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**City of Fairfax
“As-Built” Review Requirement Checklist**

Project Name: _____ Project No. _____
 Project Address: _____ Tax Map No. _____
 Engineer: _____
 Phone: _____

STATEMENT OF CERTIFICATION pursuant to Chapters 86-4(h) and 110-109(c)(3) of the Fairfax City Code, I _____ do hereby certify that this as-built conforms to the approved plans; conveys all revisions, and represents the actual conditions on this site as of _____.
 (date)

 (signature)

(Seal)

The above affidavit shall be attached to the cover sheet of each plan and sign by a certified engineer, architect or land surveyor.

1. SITE ELEMENTS

- ___A. Boundary of site
- ___B. Location of buildings, setbacks, height and number of stories
- ___C. Address of building
- ___D. Site Plan number
- ___E. Parking spaces and loading areas
- ___F. Fire lanes (as applicable)

2. LANDSCAPING

- ___A. Location and type of all plant material
- ___B. Revised planting schedule to reflect all changes in plant material

3. STORM SEWER

- ___A. Invert elevations “in” and “out” – existing structure at connection
- ___B. Size of pipe
- ___C. Distance between structure centerline to centerline
- ___D. Type of structure
- ___E. For yard inlets, the number and locations of throats
- ___F. Elevation and structure top
- ___G. All road culverts carrying discharge from storm systems and/or crossing streets
- ___H. For field connection, give pipe size, invert elevation at upper end and top, and appropriate length

4. SANITARY SEWER (SEE ITEM 6)

- ___A. Invert elevations, “in” and “out” – existing structure at connection
- ___B. Distance between centerline of structure
- ___C. Elevation of top
- ___D. Horizontal location of structure
- ___E. Lateral table or equivalent information on plan and profile.
(Note: Plan and profile must be on same sheet.)
- ___F. Overall sanitary layout sheet

4-A. WATER LINE

- ___A. Invert elevations, “In” and “out” – existing structure at connection
- ___B. Distance between centerline of structure
- ___C. Elevation of top
- ___D. Horizontal location of structure
- ___E. Lateral table or equivalent information on plan and profile.
(Note: Plan and profile must be on same sheet.)

5. DETENTION PONDS/STRUCTURES

- ___A. Locate storm structure as shown
 - all tops, throats, inverts, elevations
 - pipe size, opening for overflow, top of wall and orifice elevation
- ___B. Adequate spot elevations around entire pond depicting the shape
(Note: Minimum ten (10) along top and crest of dam width.)
- ___C. Spot elevation through drainage way to outfall and spillway
(Note: give width of spillway.)
- ___D. Provide all information possible for underground detention
(Note: that underground detention is in place.)
- ___E. Show access easement (with Deed Book and Page Number) for maintenance of pond.

6. EASEMENTS

___A. Provide Deed Book and Page Number for sanitary, storm and access easements

7. SUBMISSION

___A. Submit five sets of drawings and electronic submission of approved site plan with all revisions and As-Built drawing in pdf format.

8. PAYMENT

___A. Submit review fee of \$550 plus \$110 for each acre or fraction thereof.